

Full Planning Permission

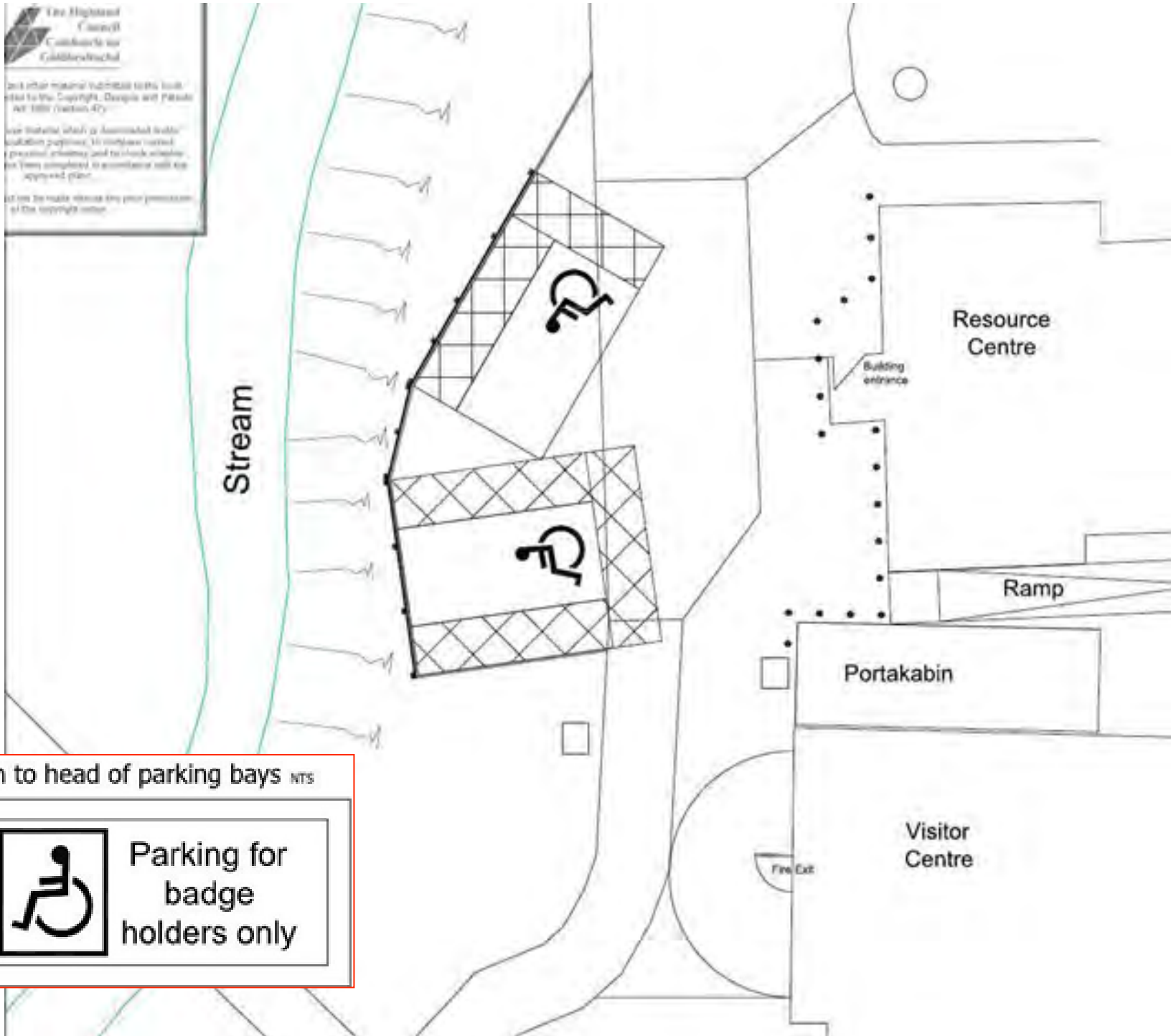
Accessibility improvements including provision of a new accessible parking area and replacement entrance doors to comply with DDA

The Highland Council
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Sign to head of parking bays NTS

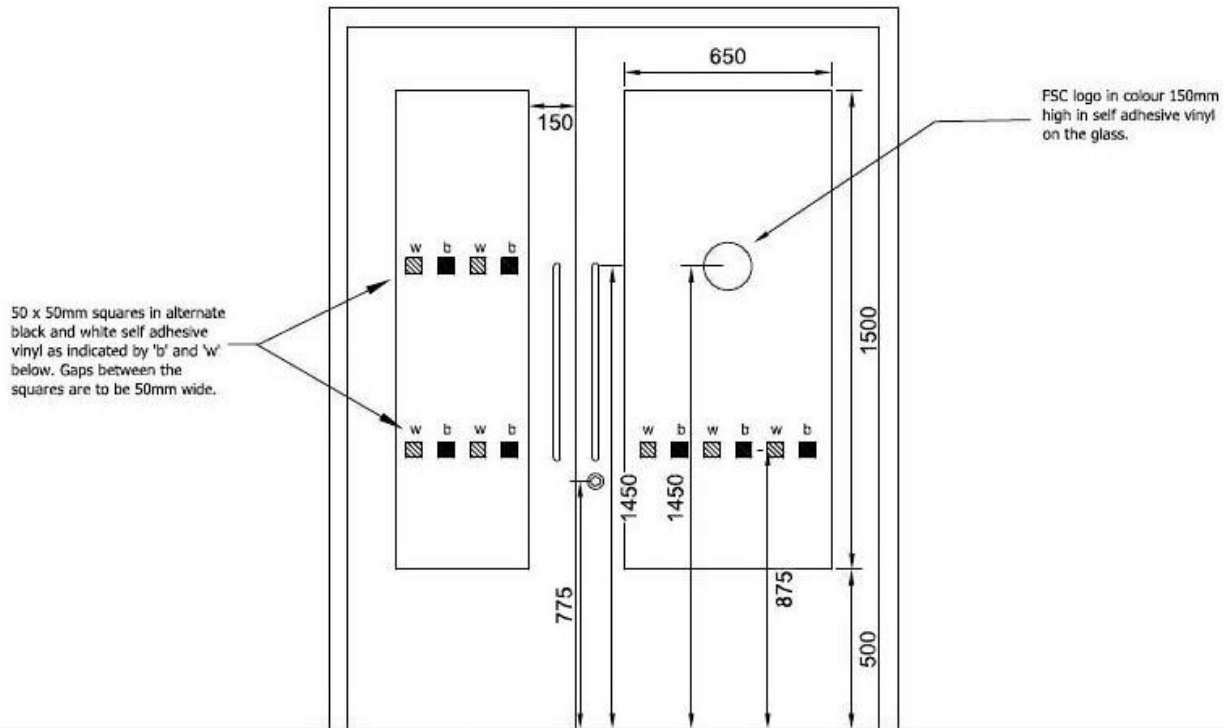


Replacement Doors: Proposed Elevations 1:20

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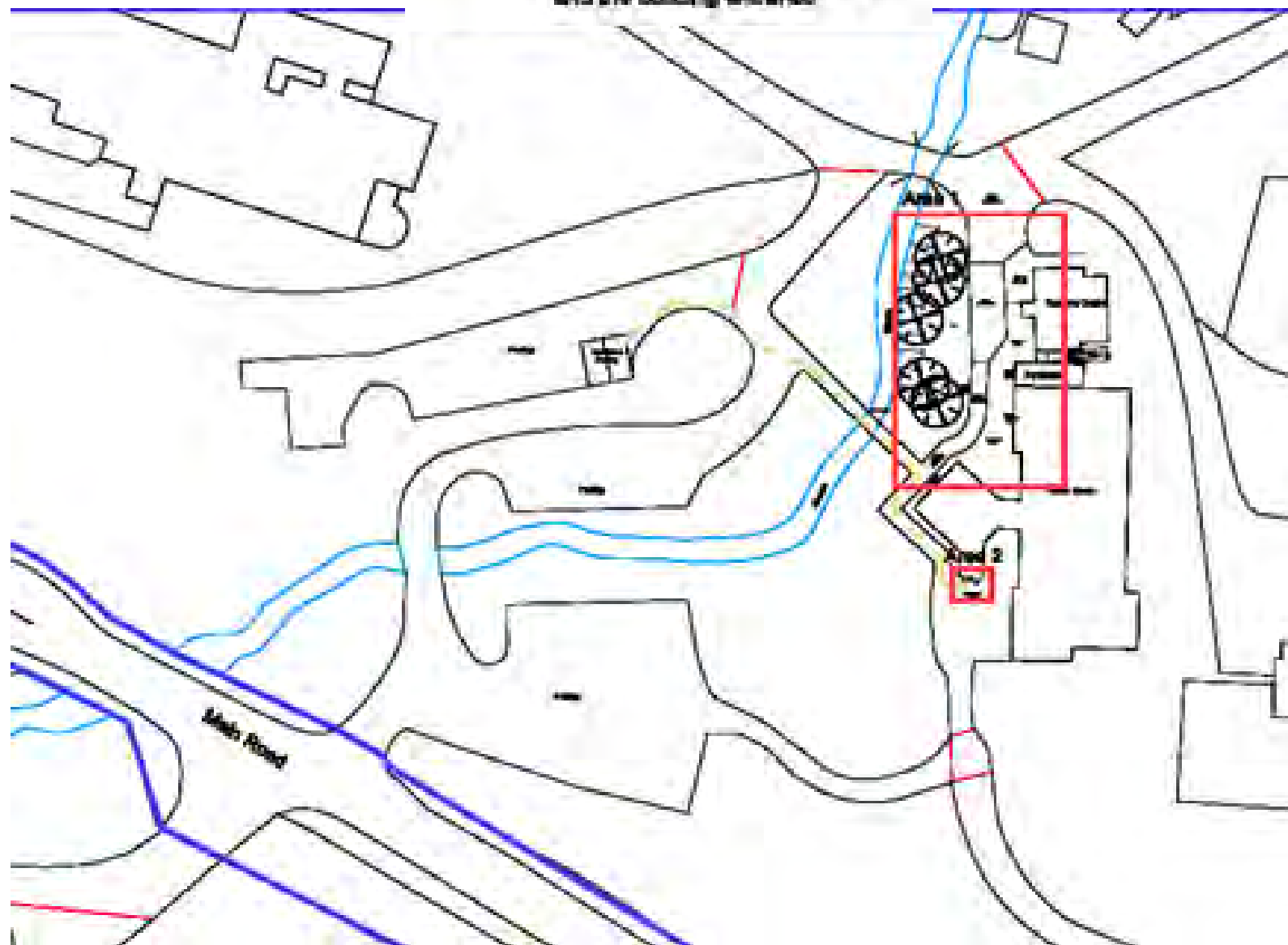


Approx door opening sizes (within existing frames) width x height:
 D1: 1665 x 2250mm
 D2, D3: 1665 x 2200mm

Door sizes shown are indicative only. The contractor is to take final measurements on site prior to production of new doors.

Manifestation is to be in vinyl. Manifestation to be supplied by:
 Brian Geddes, Forestry Commission Signage, Tel: 01224 441217 or
 07748 624943

- Land in the applicant's ownership
- Area of Proposed Development
- Pedestrian route between existing accessible parking bays and the building entrance

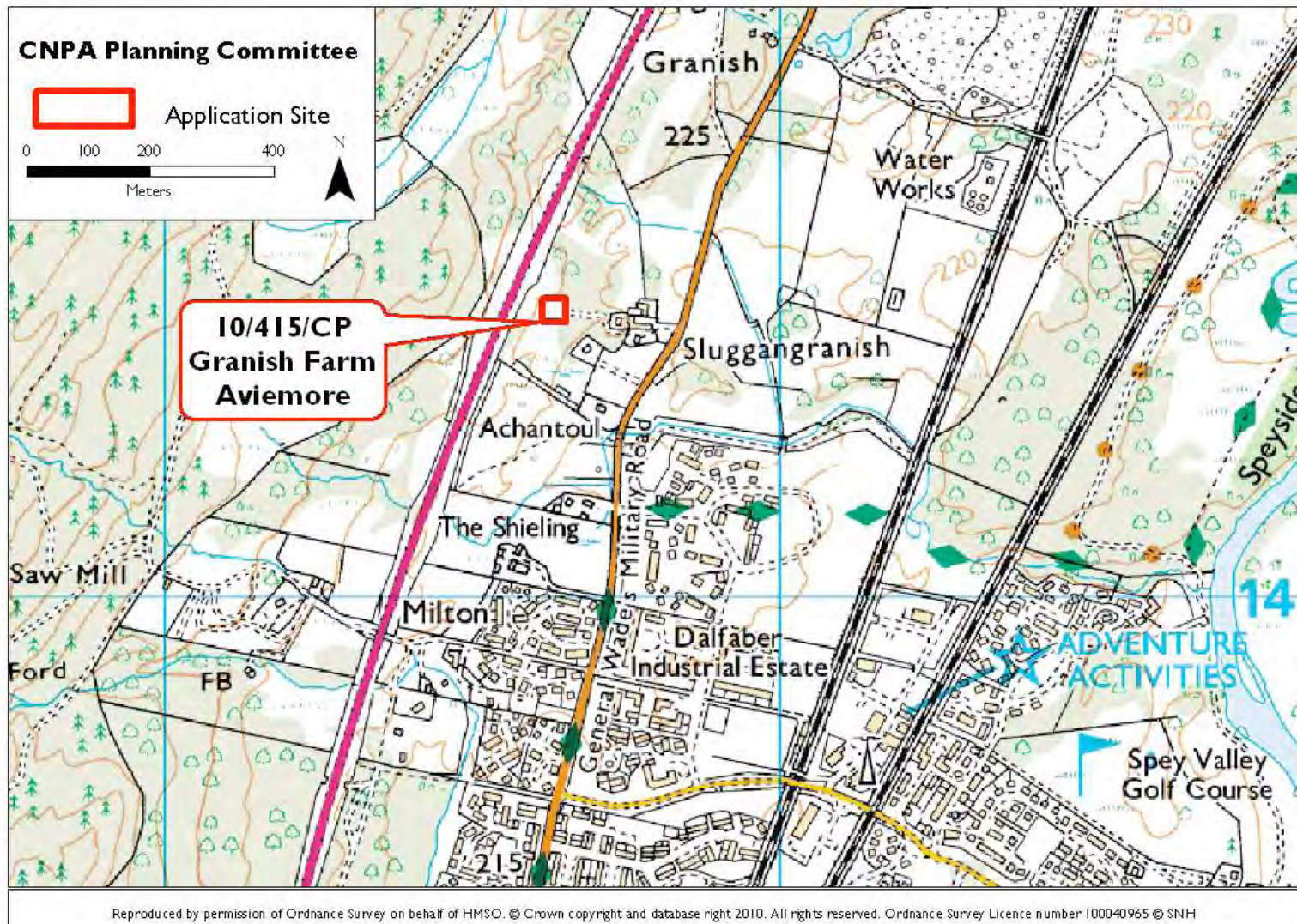




KEY POINTS :

- New entrance doors are proposed to replace those existing at the entrance to Glenmore Visitor Centre;
- 2 accessible car parking bays are proposed to be created to the rear of the Visitor Centre;
- The works are minor in nature and do not raise issues of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN



Agricultural Notification

Storage of Farm Machinery

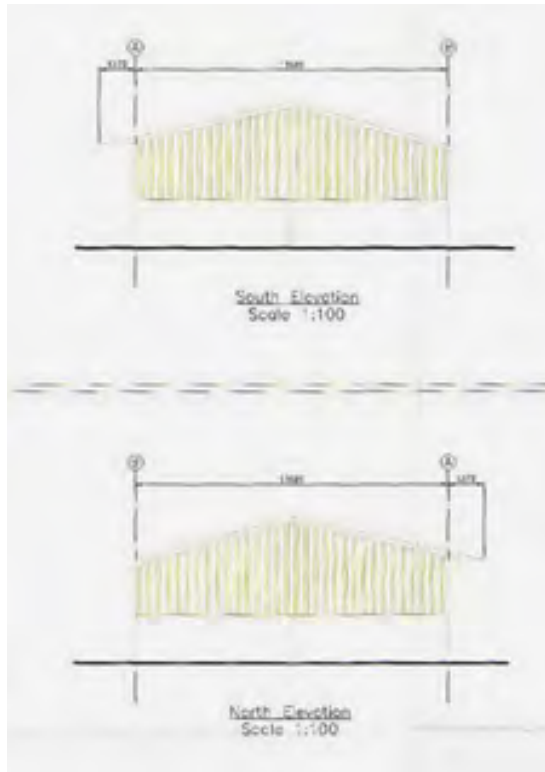


Proposed location of farm machinery building (behind trees)

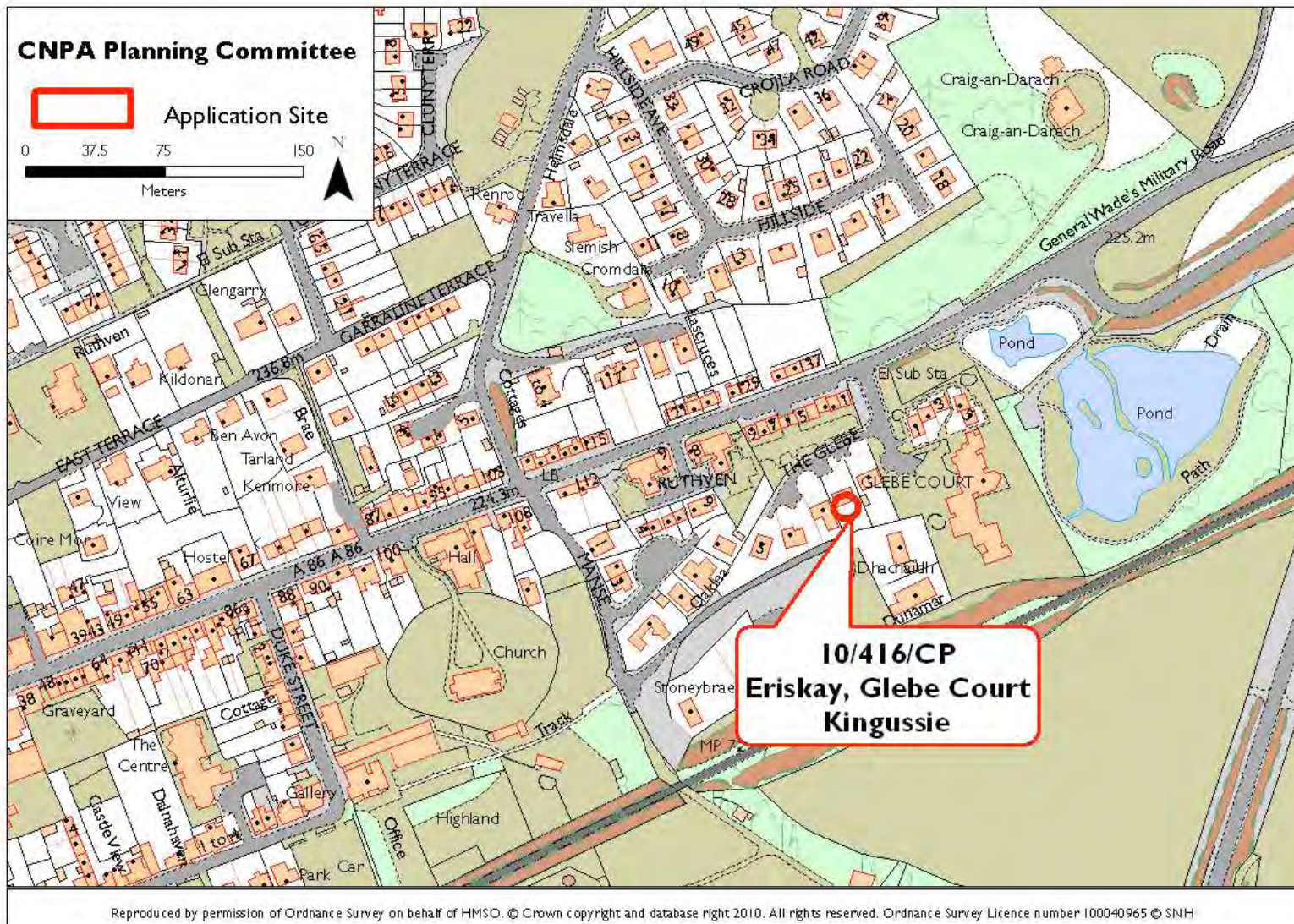


KEY POINTS :

- Farm storage machinery shed is proposed;
- Proposed on land to the west (rear) of a group of existing farm buildings;
- As an agricultural notification, the CNPA does not have any call in powers.

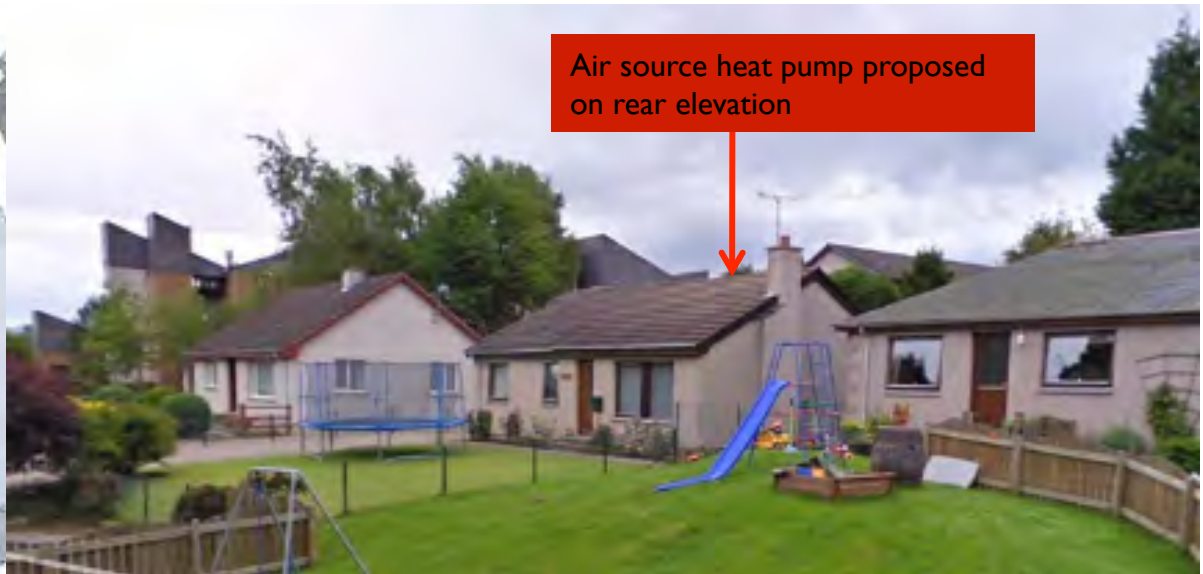


RECOMMENDATION : NO STATUTORY CALL IN POWERS



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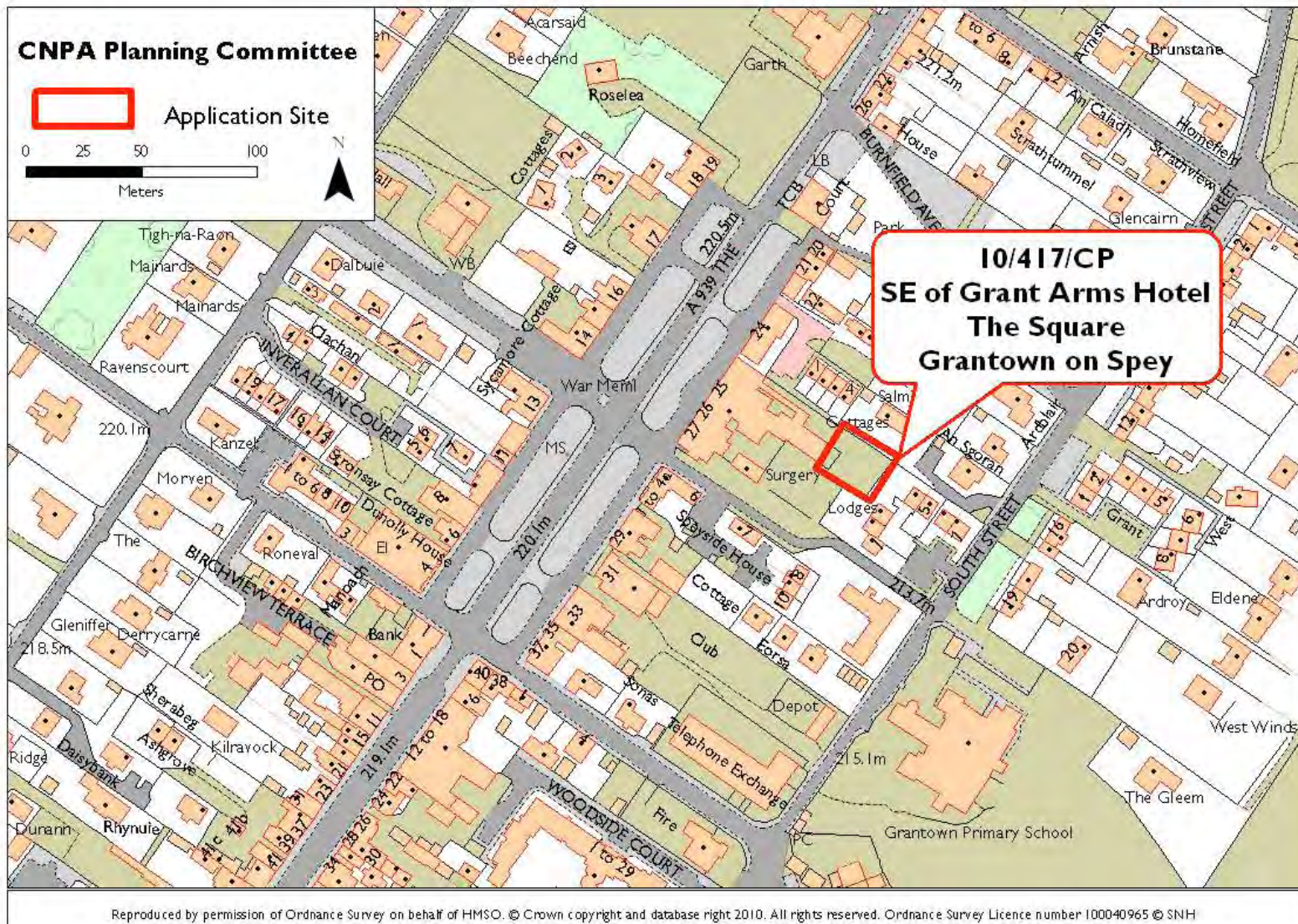
Siting of free standing air source heat pump to rear of house



KEY POINTS :

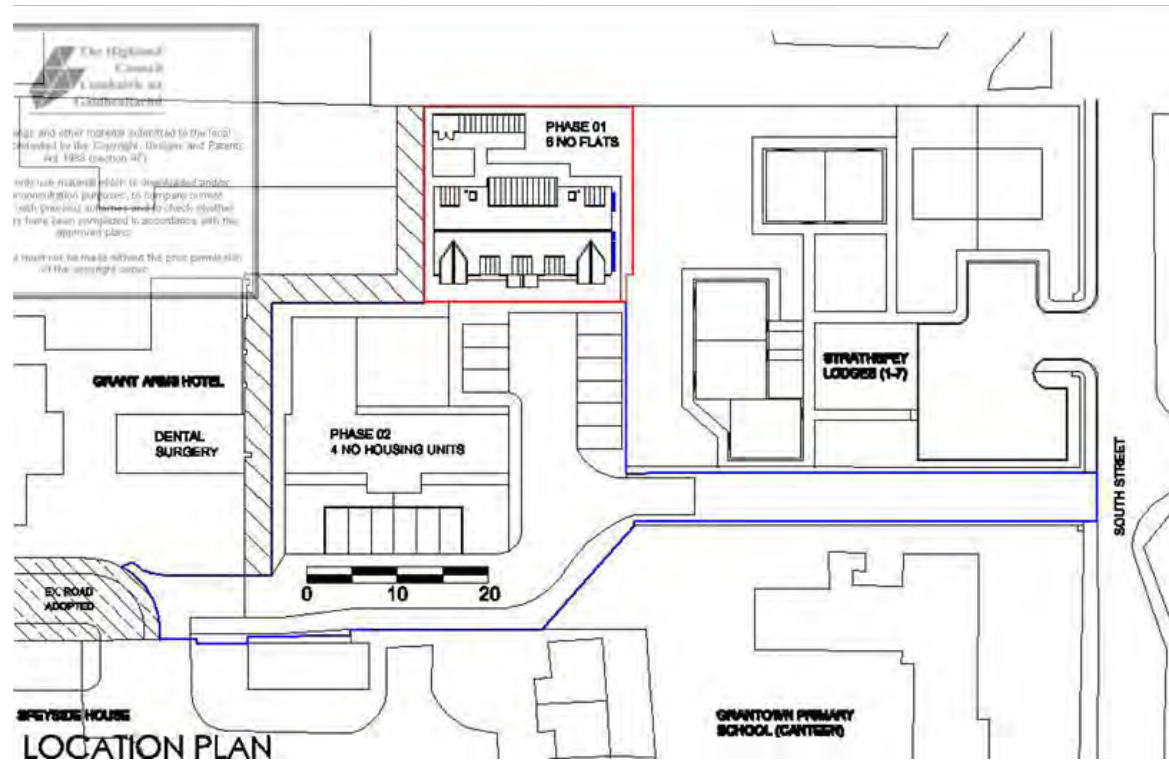
- Air source heat pump proposed on the rear elevation of the dwelling house;
- The proposal is of a minor nature and is not considered to raise issues of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN



Full Planning Permission

Install 6 Air Source Heat Pump units on east gable of new flatted development

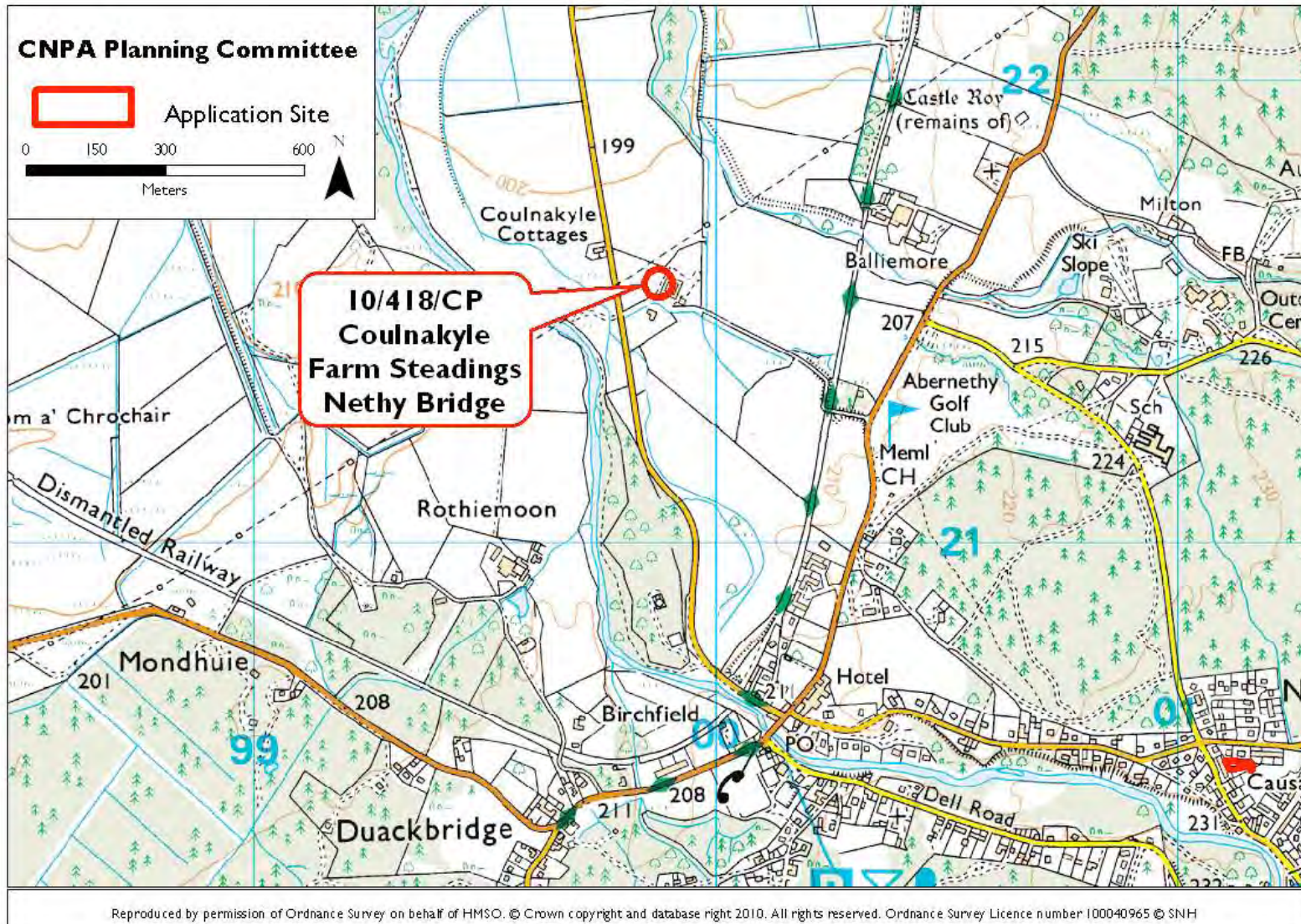




KEY POINTS :

- The CNPA granted Approval of Reserved Matters on this site to the rear of the Grant Arms in 2008 for the erection of a flatted development;
- Planning permission is now sought for the installation of 6 air source heat pump units on the eastern gable of the building (where construction is due to commence in the near future);
- The addition of air source heat pumps is considered to be a minor development and not of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN

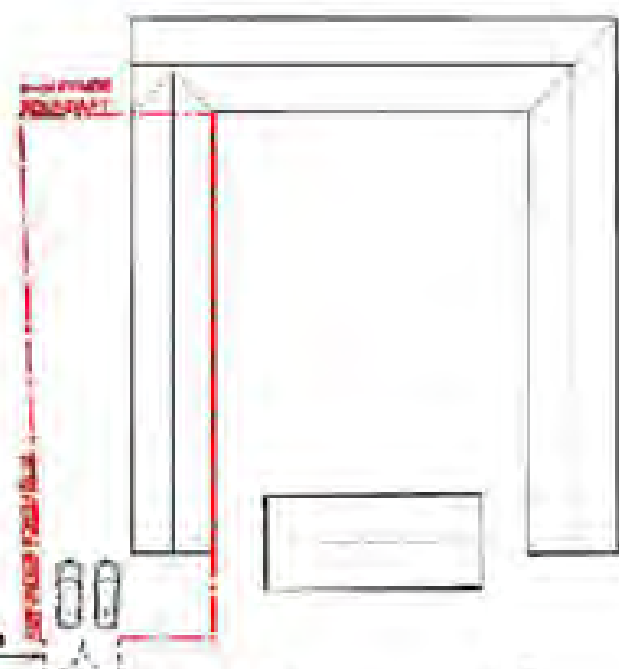


Listed Building Consent

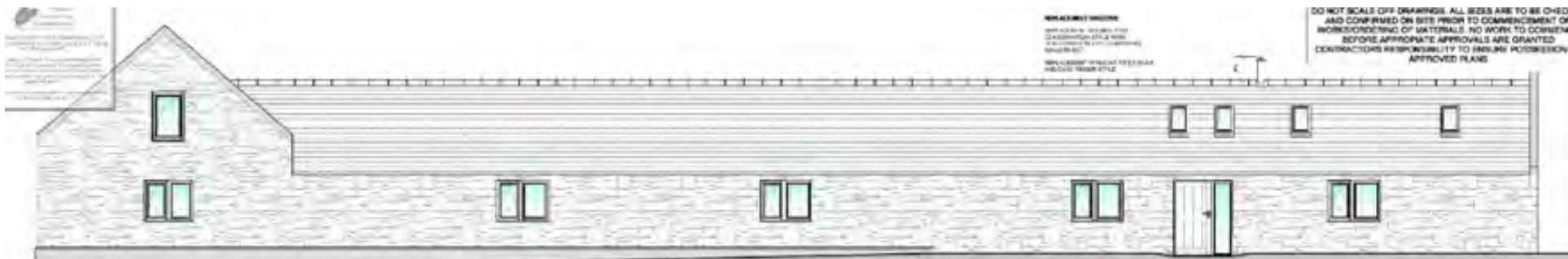
Alterations



AS PER PLAN AND AS SHOWN ON THE PLAN
 AS NEW DOUBLE GATE INSTALLED
 @ CLIENTS CHOICE



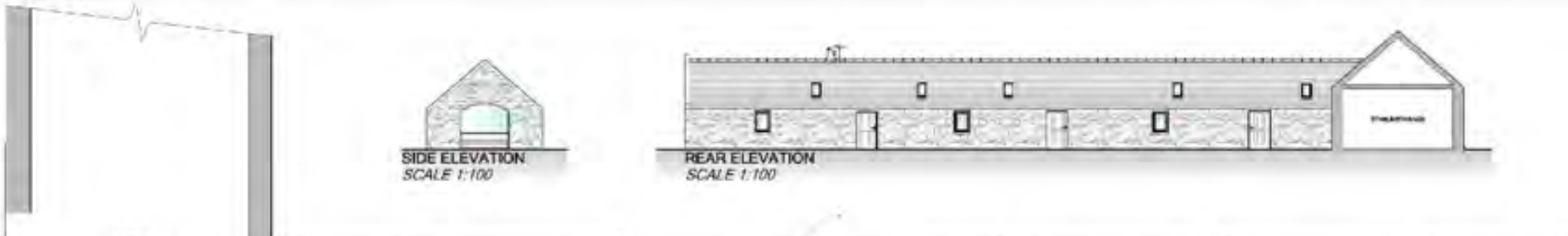
SITE PLAN 1:500



RENDERING FINISH
 WALLS AND CEILING TO BE
 RENDERED TO FINISH
 AND PAINTED TO SUIT
 APPROVED COLOR

DO NOT SCALE OFF DRAWINGS. ALL SIZES ARE TO BE CHECKED AND CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK. ORDERING OF MATERIALS. NO WORK TO COMMENCE BEFORE APPROPRIATE APPROVALS ARE GRANTED. CONTRACTORS RESPONSIBILITY TO ENSURE ACCORDANCE WITH APPROVED PLANS.

APPROACH ELEVATION
 SCALE 1:50



SIDE ELEVATION
 SCALE 1:100

REAR ELEVATION
 SCALE 1:100



GROUND FLOOR PLAN



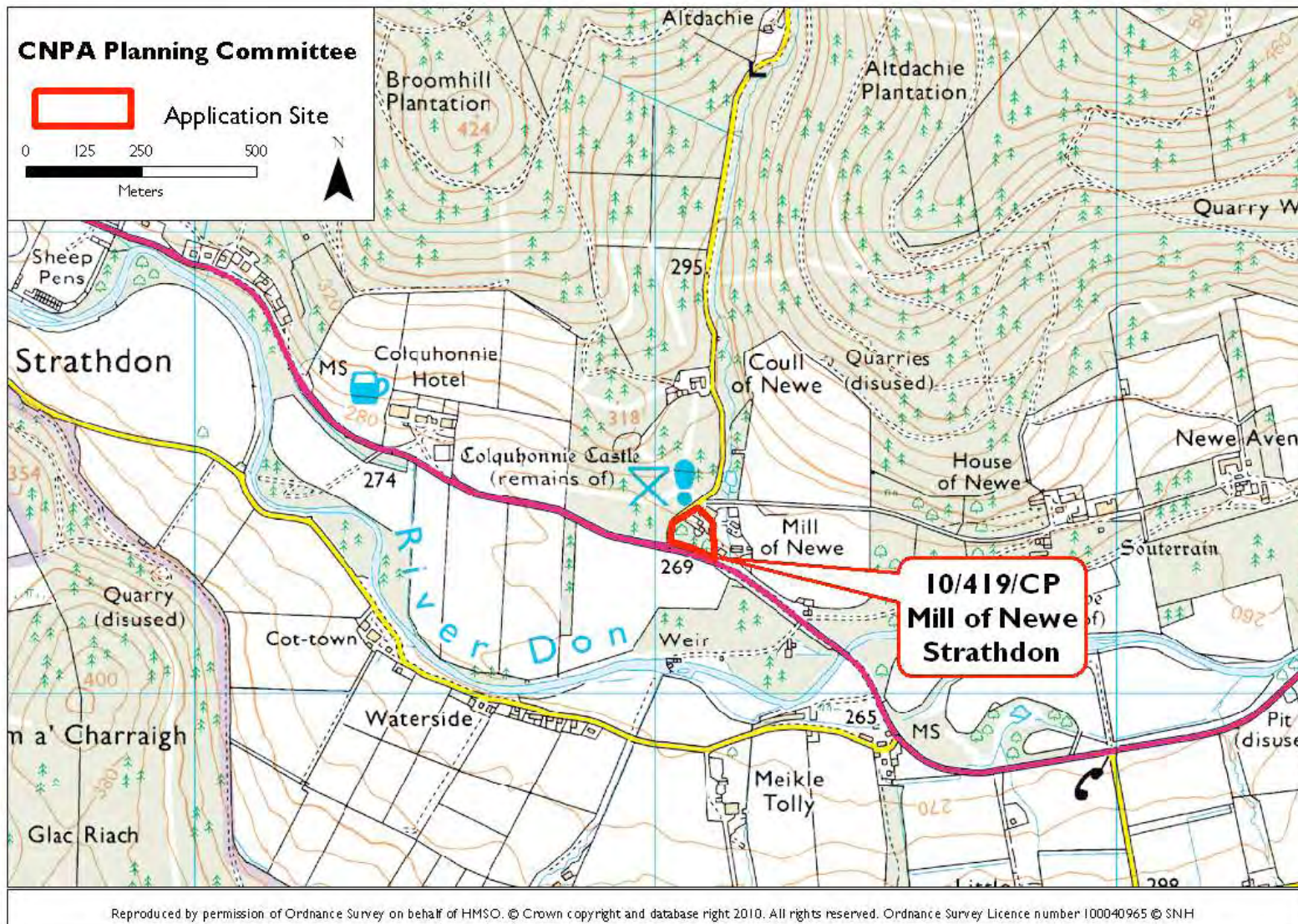
Area of the steading which is the subject of this application

KEY POINTS :

- The application form indicates that this area of the steading is currently used as office accommodation;
- Listed Building Consent is sought for proposed alterations to facilitate a change to guest and ancillary accommodation use;
- The proposed alterations involve internal works only;
- The works are not considered to raise issues of significance to the aims of the National Park.

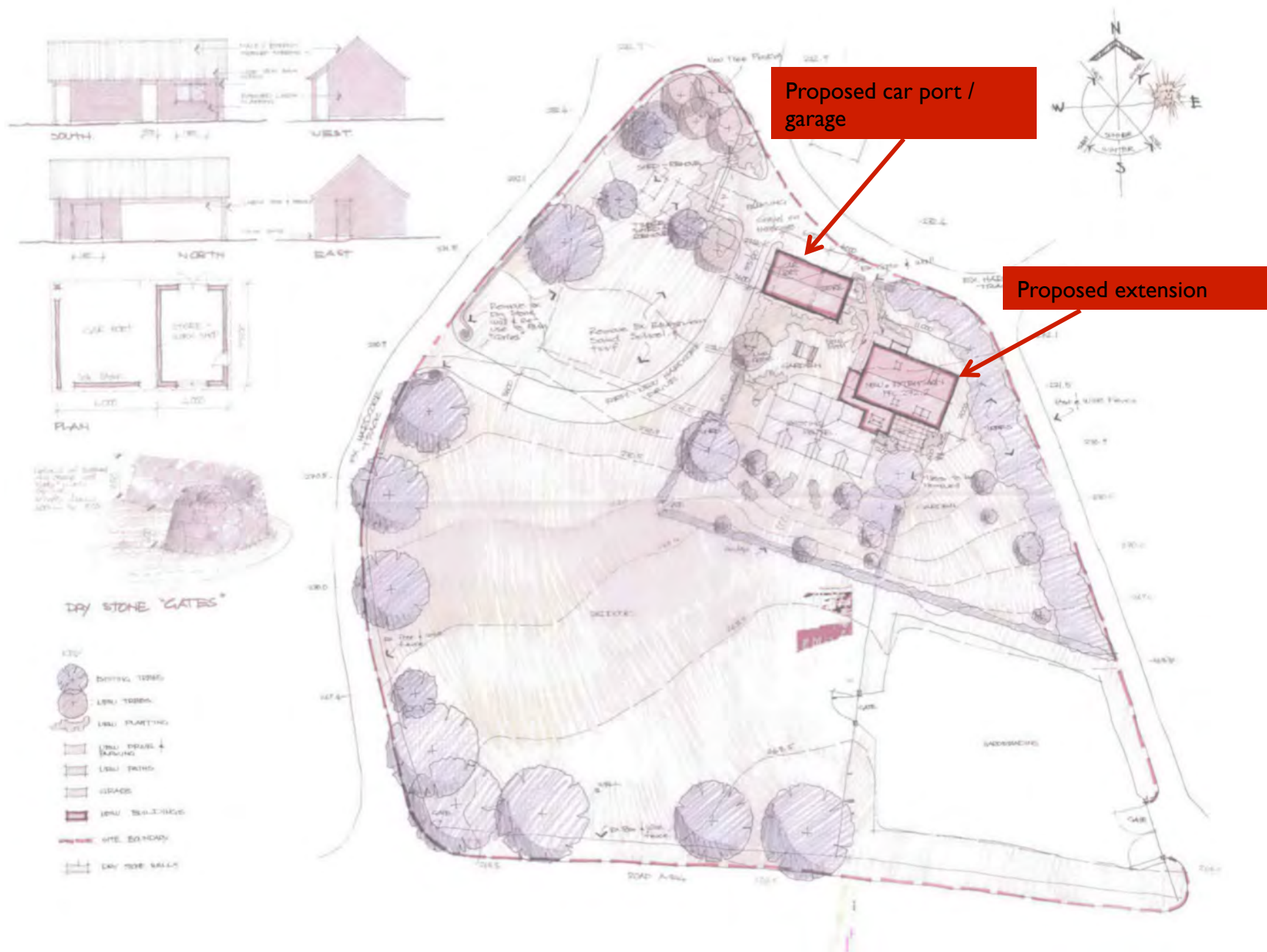
RECOMMENDATION : NO CALL IN

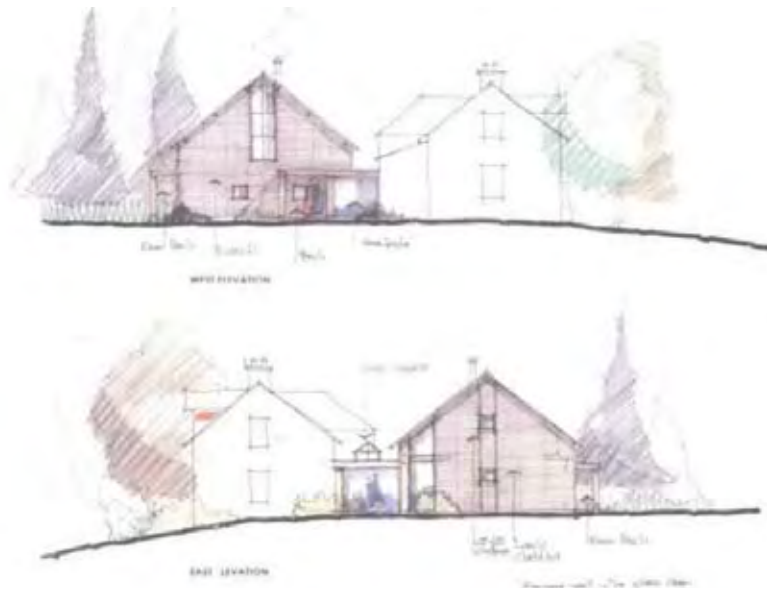
Recommended comment : In the event of consideration being given to the granting of planning permission, it is recommended that an appropriate condition is used to ensure that the new accommodation remains ancillary to the main dwelling house.²⁷



Listed Building Consent

Alterations and Extension to Dwellinghouse, Formation of Car Port and New Driveway and Replace Existing Windows with Double Glazed Units

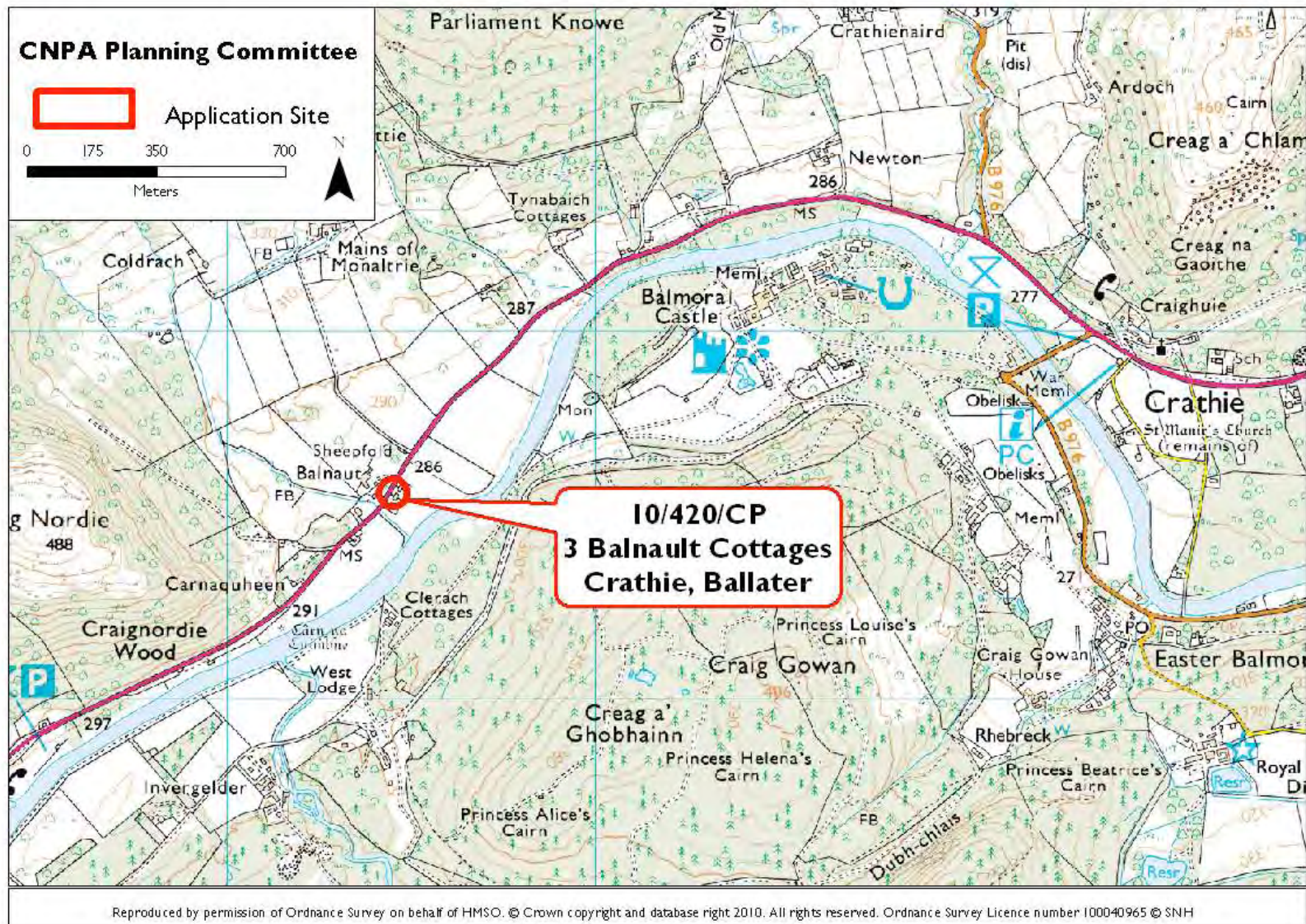




KEY POINTS :

- Previous application for planning permission for the development was notified to the CNPA but was not called in (CNPA planning ref. no. 10/314/CP refers);
- The current application is for Listed Building Consent, as the dwelling house is a Category C(s) listing;
- Consistent with the CNPA view on the earlier application, the development is not considered to raise issues of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN

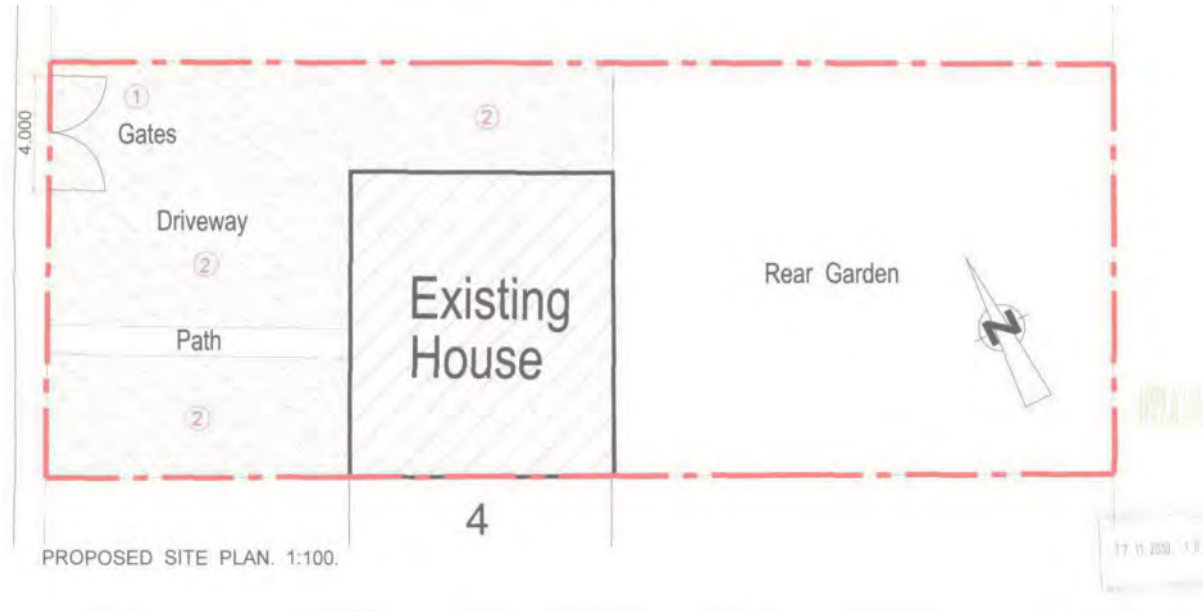


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Formation of Driveway



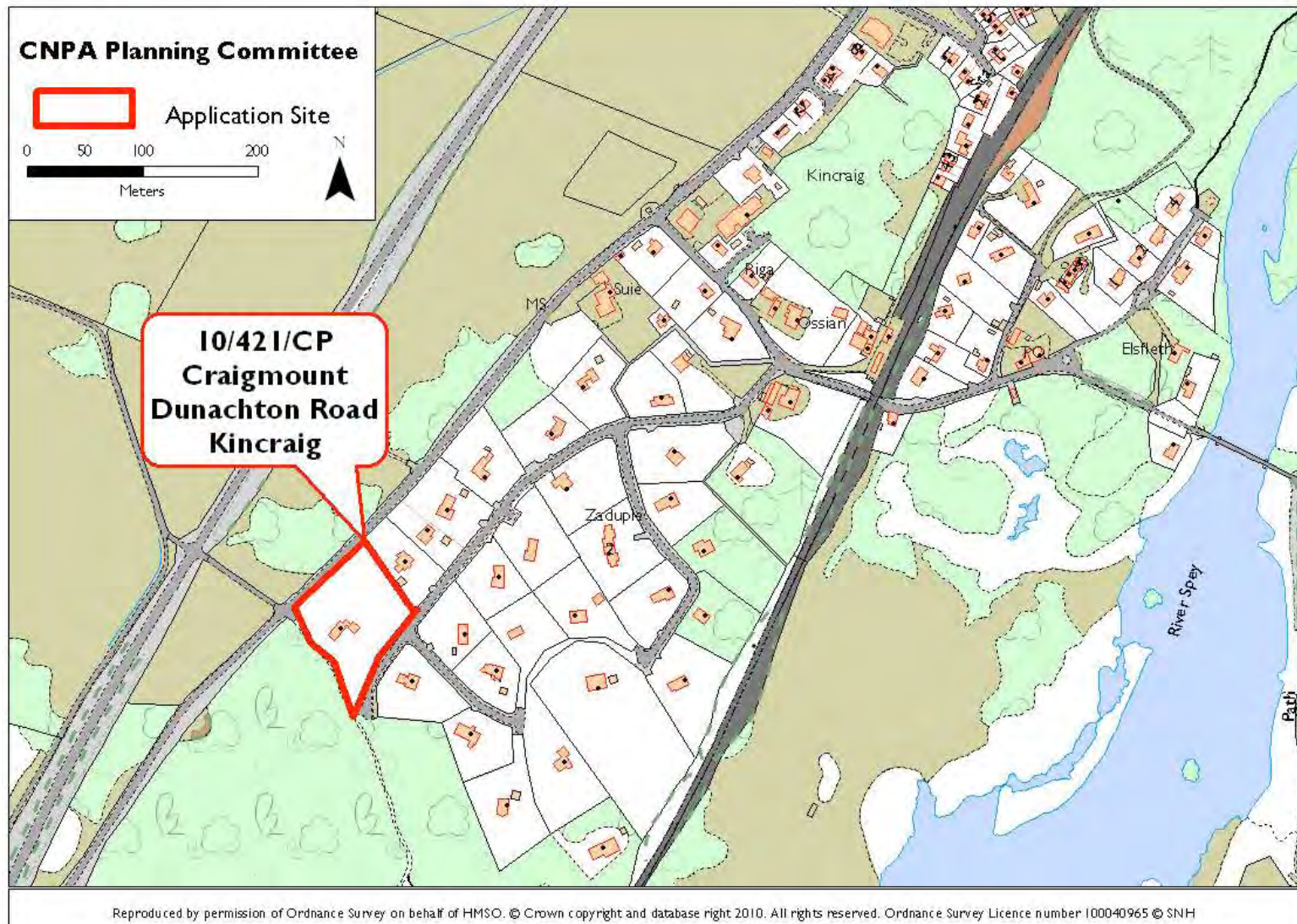
Location of proposed
new driveway



KEY POINTS :

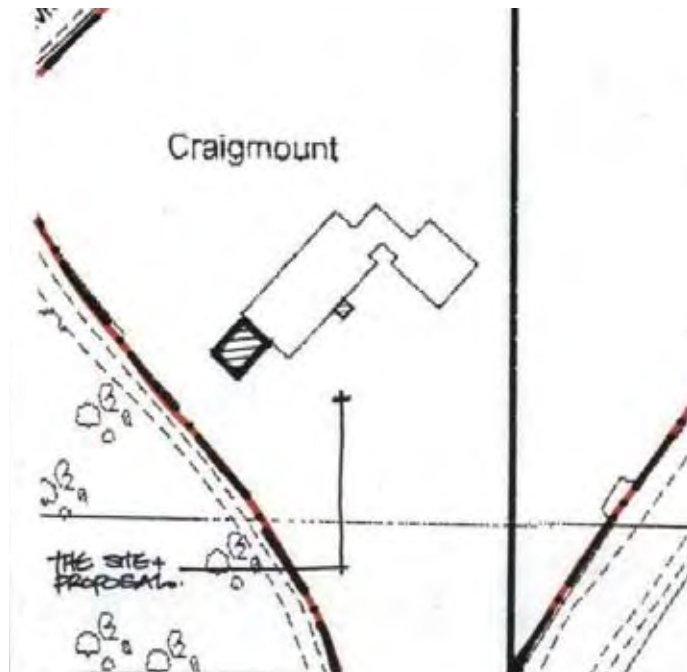
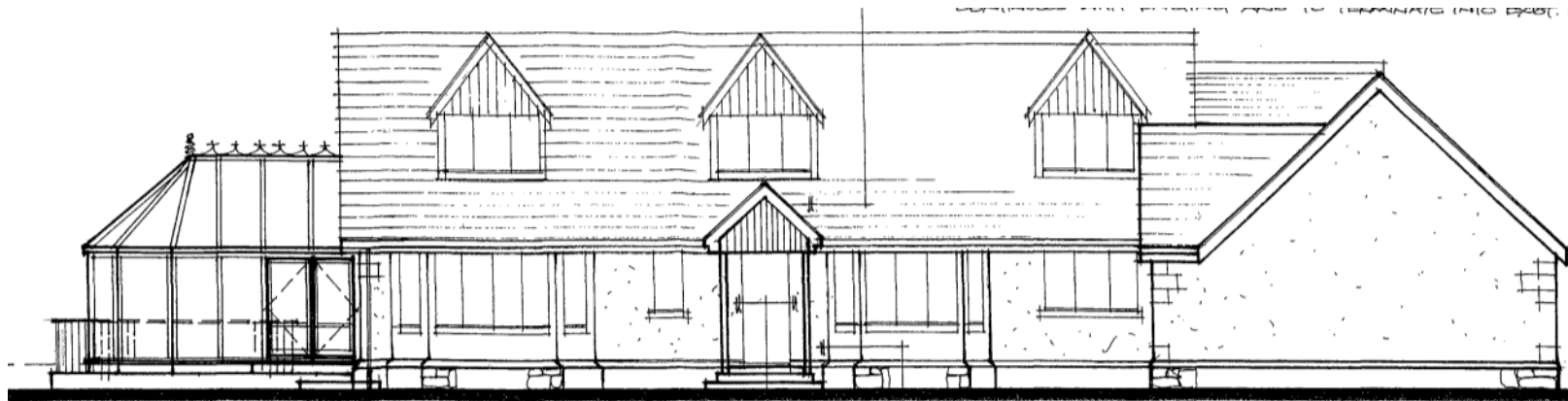
- The existing garden area is laid to lawn, with a pedestrian path leading to the front door;
- The proposal would result in the creation of a new vehicular entrance, and driveway being created;
- The proposal is minor in nature and is similar to driveways existing at other properties in the vicinity. It does not raise issues of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN



Full Planning Permission

Erection of conservatory and entrance canopy



Key Points :

- The proposed development would result in the creation of a new porch / canopy feature at the front door, and a new conservatory on the side elevation (replacing an existing, similar style conservatory);
- The proposed development involves minor works of a domestic scale and is not of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN